



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: *LU/10059*
Erf Number: *Erf 753, Kylemore*
Your Reference Number: *None*
Enquiries: *A. Gwintsa*
Contact No. : *021 808 8681*

REGISTERED MAIL

Arnold & Rosemund Van Wyk
16 Jooste Street
KYLEMORE
7600

Sir/Madam

APPLICATION FOR DEPARTURE: ERF 753, 16 JOOSTE STREET, KYLEMORE

1. Your application for departure in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning By-Law dated 20 October 2015, to relax the common building line (adjacent to Erf 754, Kylemore) from **2,0m** to **1,0m** and **0m** respectively in order to do additions to the existing dwelling and to construct a garage on Erf 753, 16 Jooste Street, Kylemore, as indicated on Drawing No. KY753, Drawn by J.F.S Prodraft & Design, dated July 2019 (See **APPENDIX 1**), refers.
2. The Authorised Employee hereby **approves, in whole** your application for a departure in terms of Section 60 of the Stellenbosch Municipal Land Use Planning By-law, on condition that:
 - 2.1 The approval applies only to the application for departure in question (See **APPENDIX 1**) and shall not be construed as authority to depart from any other legal prescriptions or requirements from all other internal and external departments.
 - 2.2 Building plans must be submitted, all applicable departmental recommendations be obtained and building plans be approved by this Municipality, prior to any building work commencing on site;

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- 2.3 This approval becomes null and void if approval could not be obtained from Council's internal departments, e.g. Fire Services, Engineering Services, Building Management, etc.
 - 2.4 That no run-off (rain water) from the proposed extensions be channeled onto the abutting property;
 - 2.5 This departure approval shall lapse if not exercised within 5 years from date of final notification; and
 - 2.6 Council reserves the right to impose further conditions if deemed necessary.
3. Reasons for the above decision are as follows:
- 3.1 The adjacent affected property owner(s) granted their written consent and no further advertising was deemed necessary.
 - 3.2 The proposed land use is in line with the zoning of the property.
 - 3.3 All other land use parameters will still be complied with.
 - 3.4 All other departments will still be afforded an opportunity to comment on the final building plan, which may result in the amendment of the approval.
 - 3.5 The proposed departure would not negatively affect the aesthetic appearance of the structure, property or surrounding environment.
 - 3.6 The subject application can for the above-mentioned reasons be supported from a land use management perspective, considering that all due administrative processes to make an informed decision has been complied with.
4. You are hereby informed of your right to appeal to the Appeal Authority in terms of section 79(2) and that all appeal submissions and processing must be in compliance with the procedures for appeals stipulated in section 80 of the said legislation.
5. If you intend to appeal, the appeal form must be completed and can be obtained from our Advice Centre; Land Use Management, Ground floor, Plein Street, Stellenbosch or the municipal website at www.stellenbosch.gov.za/planning_portal, and should be directed to the Appeal Authority and received by the Municipal Manager at P O Box 17, Stellenbosch, 7599 or faxed to 021 886 6899, or hand delivered to the Advice centre, within 21 days of registration of this decision letter together with proof of payment of the appeal fee.

6. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
7. Kindly note the above decision is suspended and may therefore not be acted on until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



TABISO MFEYA

THE AUTHORISED EMPLOYEE

DIRECTOR: PLANNING & ECONOMIC DEVELOPMENT

12/02/2020

DATE

APPENDIX 1

Proposed building plan

A handwritten signature in black ink, consisting of a horizontal line with a vertical stroke crossing it, followed by a wavy line.

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GENERAL :

All levels and dimensions to be checked before any work commences. Preference to be given to written dimensions above scaling from plan. All work must comply with National Building Regulations and Local Authorities By-laws. Any discrepancy must be referred to the Designer.

COVERAGE CALCULATIONS :

ERF AREA	= 578 M / 2
EXIST. DWELLING HOUSE	= 163 M / 2
EXIST. PERGOLA	= 12 M / 2
PROP. EXTENSION (KITCHEN)	= 11 M / 2
PROPOSED LEAN-TO-ROOF	= 44 M / 2
PROP. SINGLE GARAGE	= 20.7 M / 2
TOTAL	= 238.7 M / 2
PERCENTAGE COVER	= 41.3 %
APPROXIMATE ESTIMATED COST :	
KITCHEN EXTENSION	= R44 500.00
PROP. LEAN-TO-ROOF	= R35 200.00
PROP. GARAGE	= R62 100.00
TOTAL	= R141 800.00

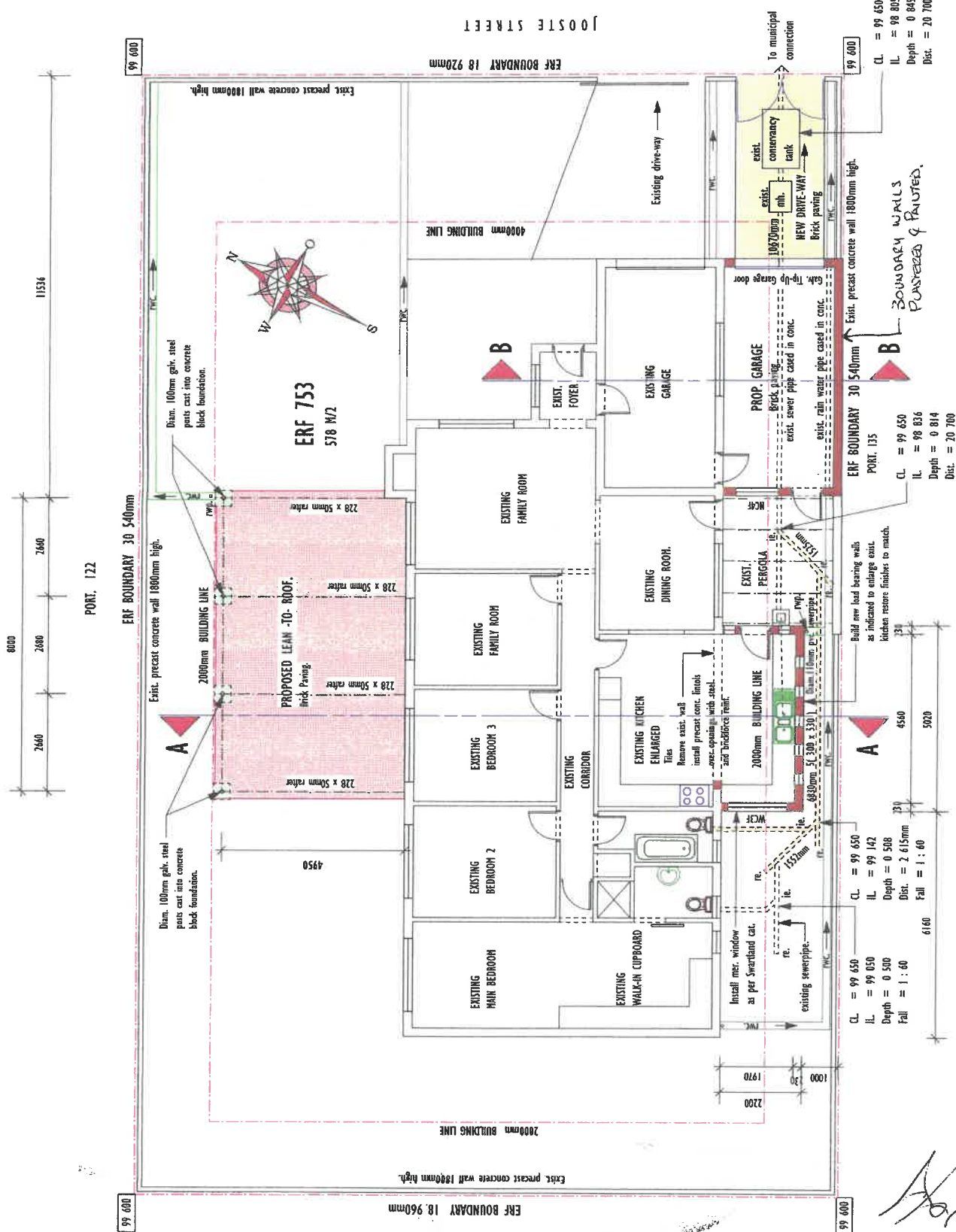
Fluorescent light	⊞
Stove connection	⊞
Electrical Meter	⊞
Distributionboard	⊞
Two Way Switch	⊞
One Way Switch	⊞
Double Powerpoint	⊞
Single Powerpoint	⊞
* Downlighters "	⊞
Warmwater Cylinder 200L (High pressure)	⊞
External light	⊞
Ceiling light	⊞

J. F. S. Prodraft & Design
James Solomons

P.O. Box 424, Starking street, Pniel, 7861

Ph : 083 712 8170
Fax : 021 885 1472

project :	PROP. EXTENSION & LEAN-TO-ROOF TO EXIST. DWELLING HOUSE.
Owner :	Mr. & Mrs. A. Van Wyk Erf 753, Jooste Street Kylemore, Stellenbosch.
referring no. :	K1753
datum :	July 2019
scale :	1 : 100
drafter :	J. F. Solomons



Handwritten signature: J. F. S.

NOTES :

GENERAL :

All levels and dimensions to be checked before any work commences. Preference to be given to written dimensions above scaling from plan. All work must comply with National Building Regulations and Local Authorities By-laws. Any discrepancy must be referred to the Designer.

GLASS PANELS :

Clear glass panels 4mm thick monolithic annealed, obtained in toilet and Bathrooms. Glazed area larger than 0.750M² or lower than 500mm from finish floor level, to be safety glass as per SABS safety standards.

COMPLIANCE FOR ENERGY EFFICIENCY

BUILDINGS :

100mm mesh reinf. concrete floor slab on 250 micron 4µm installed around the vertical edges turned up for the full depth up to 300mm of concrete floor parameter. Floors shall have an R-value of not less than 1.0

MASONRY WALLS :

Clay-brick walls, plastered and painted internally & external, with total R-value of 1.9

ROOF ASSEMBLIES :

Skillion roof : Metal roof sheeting pitched at 5 degrees slope ceiling, 10mm, non-reflective out-door & in-door air film (Still air) Total R-value = 0.35 + added R-values of reflective insulation, 5 layers of reflective foil insulation, 100mm thick layer flexible fibre glass blanket R-value = 3.4 .Total R-value = 3.75, direction of heat flow upwards.

J. F. S. Prodraft & Design
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Ph : 083 712 6110
Fax : 021 885 1472

Project :	PROP. EXTENSION & LEAN-TO-ROOF TO EXIST. DWELLING HOUSE .
Owner :	Mr. & Mrs. A. Van Wyk Erf 753, Jooste Street Kyllenore, Stellenbosch.
drawing no. :	KATS3
date :	July 2019
scale :	1 : 100
drawn by :	J. F. Solomons

FILLING & COMPACTION :

- Filling to contain little or no organic matter.
- Exclude stones larger than 75mm diameter.
- No more than 10% rock or hard fragments bigger than 50mm.
- Should be placed without significant voids.
- Any fill exceeding 400mm in height, at any point, to be inspected and designed by a Competent person.
- Filling shall be moistened before compaction so that a hard full, squeezed, appears firm without any sign of moisture.
- Filling placed in uncompacted layers not exceeding 150mm max. for hand compaction, not exceeding 150mm max. for machine compaction.
- Does not contain large clay lumps that do not break up during compaction, nor be mostly clay material.

Boundary wall plastered and painted to match existing.

Exist. precast concrete walls 1800 high as indicated.

ROOF CONSTRUCTION :

Metal roof sheeting to match existing pitched at 5 degrees slope, on installation 410 x 76 x 50mm purlins at +/- 800mm c/c on 114 x 38mm rafters fixed & secured to 114 x 38mm wallplate secured with hoop iron straps. Install 225 x 12.5mm fibre concrete facias to ends of rafters. Install pre gutters and downpipes to match.

CEILING CONSTRUCTION :

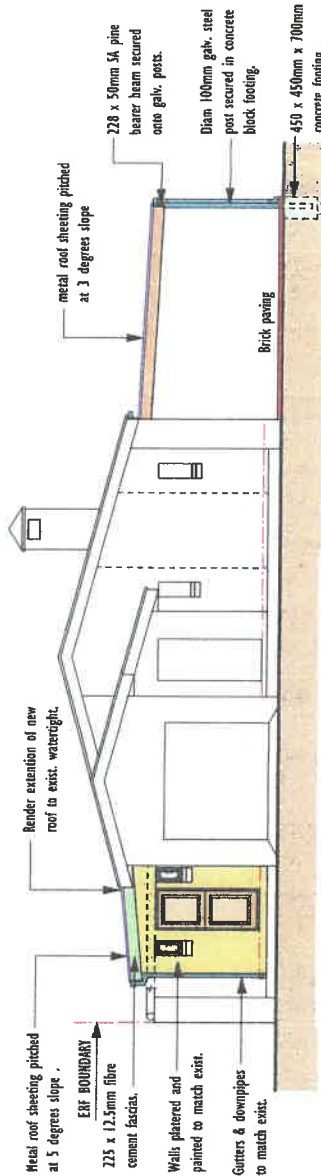
Ceiling formed with light weight sira foam panels or gypsum plaster board nailed against 38 x 38mm battens at 450mm c/c with members access to form squares. Install gypsum plasterboard cornice or sira foam in corners against walls. 150mm roof overhang, to be closed off with mucc. boards nailed against 38 x 38mm battens, with half round strips or fascias over joints and quadrants in corners to round off.

MASONRY CONSTRUCTION :

Clay brick walls plastered and painted internally & externally. Window sills plastered with 30degrees slope. One airbrick opening per room two in kitchen. Install precast concrete lintels above all openings, with bridgforce every layer above and every second layer in walls. Install 375 micron dpc in walls min. 150mm above ground level.

FLOOR CONSTRUCTION :

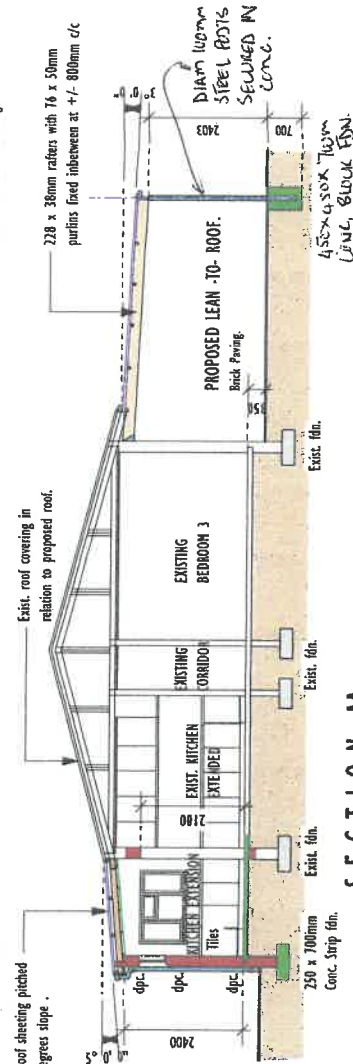
Floor covering on 25 - 30mm sand cement floor screed on 100mm mass concrete floor slab on 250 micron dpm. on 50mm sandblinding on well compacted hardcore filling compacted in max. 150mm layers 90% mod. asphalt. Install mercant stirrings in corners against walls.



NORTH EAST ELEVATION:
SCALE : 1 : 100

SOUTH EAST ELEVATION:
SCALE : 1 : 100

NORTH WEST ELEVATION:
SCALE : 1 : 100



SECTION AA:
SCALE : 1 : 100

NOTES :

GENERAL :

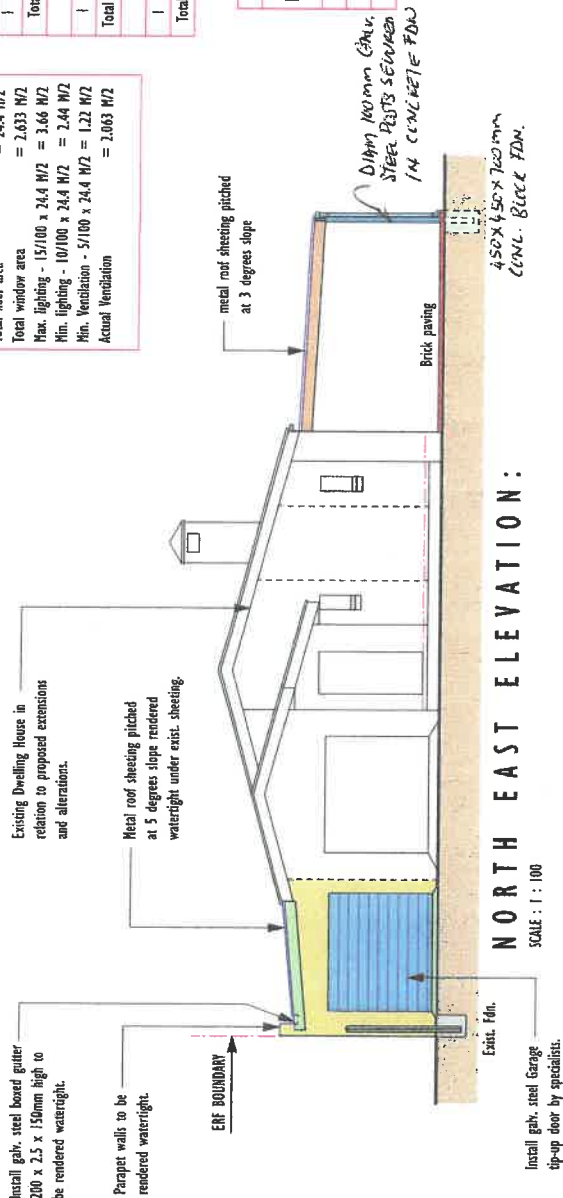
All levels and dimensions to be checked before any work commences. References to be given to written dimensions above scaling from plan. All work must comply with National Building Regulations and Local Authorities By-laws. Any discrepancy must be referred to the Designer.

1	2	3	4
Panel	Facing direction	Area m ²	Shading description
1	Northeast	0.318	0.3H x 0.53M(2) Mer. window - no shaded (95mm)
Total glazing Area		0.318	
1	Southwest	0.795	0.3H x 0.53M(5) Mer. window - shaded (150mm)
Total glazing Area		0.795	
1	Southwest	1.52	1.6H x 0.95M Mer. window no shaded (95mm)
Total glazing Area		1.52	

Panel	Glazed area and P/H value	Solar exposure factor
1	300 Window P/H = 95 / 530 = 0.18	0.77 for Northeastern facade
2	300 Window P/H = 150 / 530 = 0.28	0.59 for Southeastern facade
3	300 Window P/H = 95 / 951 = 0.10	0.91 for Southwestern facade

Determining shading projections over glazed areas	
1	P = 95 G = 860 - 530 = 330 (< 500)
2	P = 95 + 150 = 245 G = 780 - 530 = 250 (> 500)

GROUND STOREY :
KITCHEN EXTENSION
 Total floor area = 24.4 M/2
 Total window area = 2.633 M/2
 Max. lighting - 15/100 x 24.4 M/2 = 3.66 M/2
 Min. lighting - 10/100 x 24.4 M/2 = 2.44 M/2
 Min. Ventilation - 5/100 x 24.4 M/2 = 1.22 M/2
 Actual Ventilation = 2.063 M/2



ROOF CONSTRUCTION :

Metal roof sheeting to match existing pitched at 5 degrees slope, on insulation 410 on 76 x 50mm rafters at +/- 800mm c/c on 150 x 50mm rafters lined & secured to wall b.m.s galv. steel brackets rafterbolted to existing wall. Install 225 x 12.5mm fibre cement fascias to ends of rafters. Install galv. steel boxed gutter 200 x 2.5 x 150mm high rendered watertight.

MASONRY CONSTRUCTION :

Clay brick walls plastered and painted internally & externally. Window sills plastered with 30 degrees slope. Precast concrete lintels above all openings with bridlebars every layer above and every second layer in walls. Install 375 micron dpc in walls min. 150mm above ground level.

FLOOR CONSTRUCTION :

Brick paving on 750 micron dpm on 50mm sand blinding on well compacted hardcore filling compacted in max. 150mm layers 90% mod. asphalt.

NATURAL VENTILATION :

CONSTANTS :
 CONDUCTIVITIES = 24.4 x 1.4 = 34.16
 SHG = 24.4 x 0.13 = 3.17
CONDUCTANCE
 Use clear glass in steel frame.
 A x U = 2.63 x 5.6 = 14.73 (< 34.16)
SOLAR HEAT GAIN :
 NORTHEAST : (A₁ x S₁ x E₁) = 2 (0.159 x 0.77 x 0.77) = 0.19
 SOUTHWEST : (A₁ x S₁ x E₁) = 50.159 x 0.77 x 0.59 = 0.36
 SOUTHWEST : (A₁ x S₁ x E₁) + (A₂ x S₂ x E₂) = (1.52 x 0.77 x 0.91) = 1.07
TOTAL = 0.19 + 0.36 + 1.97 = 2.52 (< 3.17)
BUILDING COMPLIES TO ENERGY EFFICIENCY IN BUILDING.

J. F. S. Prodruff & Design
 James Solomons

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project :

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Owner : Mr. & Mrs. A. Van Wyk
 Erf 753, Jooste Street
 Rydamore,
 Stellenbosch.

teleph. no. **K1753**

date: July 2019

sheet : 1 : 100

designed : J. F. Solomons

