



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: *LU/10675*
Erf Number: *Erf 2874, Franschhoek*
Your Reference Number: *None*
Enquiries: *B Zondo*
Contact No. : *021 808 8951*

REGISTERED MAIL

MM Crots
12 Akademie Street,
Franschhoek
STELLENBOSCH
7600

Sir/Madam

PROPOSED DEPARTURE: ERF 2874, FRANSCHHOEK.

1. Your application for departure in terms of Section 15(2) (b) of the Stellenbosch Municipal Land Use Planning By-Law dated 20 October 2015, to exceed the Coverage from **30% to 52%** and relax the side building line from **2.5m to 0m** in order to construct a new undercover pool and new enclosed patio on Erf 2874, Franschhoek, as indicated on Drawing No. 1907/01 A, dated July 2019 and drawn by S Nikelo (Masterplan Projects Architects), refers.
2. The Authorised Employee hereby **approves, in whole** your application for a departure in terms of Section 60 of the Stellenbosch Municipal Land Use Planning By-law, on condition that;
 - The approval applies only to the application for departure in question and shall not be construed as authority to depart from any other legal prescriptions or requirements from all other internal and external departments.
 - Building plans must be submitted, all applicable departmental recommendations be obtained and building plans be approved by this Municipality, prior to any building work commencing on site;
 - This approval becomes null and void if approval could not be obtained from Council's internal departments, e.g. Fire Services, Engineering Services, Building Management, etc.

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- This departure approval shall lapse if not exercised within 5 years from date of final notification;
- Council reserves the right to impose further conditions if deemed necessary.

3. Reasons for the above decision are as follows:

- The adjacent affected property owner(s) granted their written consent and no further advertising was deemed necessary.
- The proposed land use is in line with the zoning of the property.
- All other land use parameters will still be complied with.
- All other departments will still be afforded an opportunity to comment on the final building plan, which may result in the amendment of the approval.
- The proposed departure would not negatively affect the aesthetic appearance of the structure, property or surrounding environment.
- The subject application can for the above-mentioned reasons be supported from a land use management perspective, considering that all due administrative processes to make an informed decision has been complied with.

4. You are hereby informed of your right to appeal to the Appeal Authority in terms of section 79(2) and that all appeal submissions and processing must be in compliance with the procedures for appeals stipulated in section 80 of the said legislation.

5. If you intend to appeal, the appeal form must be completed and can be obtained from our Advice Centre; Land Use Management, Third floor, 43 Andringa Street, Eikestad Mall Stellenbosch or the municipal website at www.stellenbosch.gov.za/planning_portal, and should be directed to the Appeal Authority and received by the Municipal Manager at P O Box 17, Stellenbosch, 7599 or faxed to 021 886 6899, or hand delivered to the Advice centre, within 21 days of registration of this decision letter together with proof of payment of the appeal fee.

6. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.



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7. Kindly note the above decision is suspended and may therefore not be acted on until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



THE AUTHORISED EMPLOYEE (T MFEYA)

DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

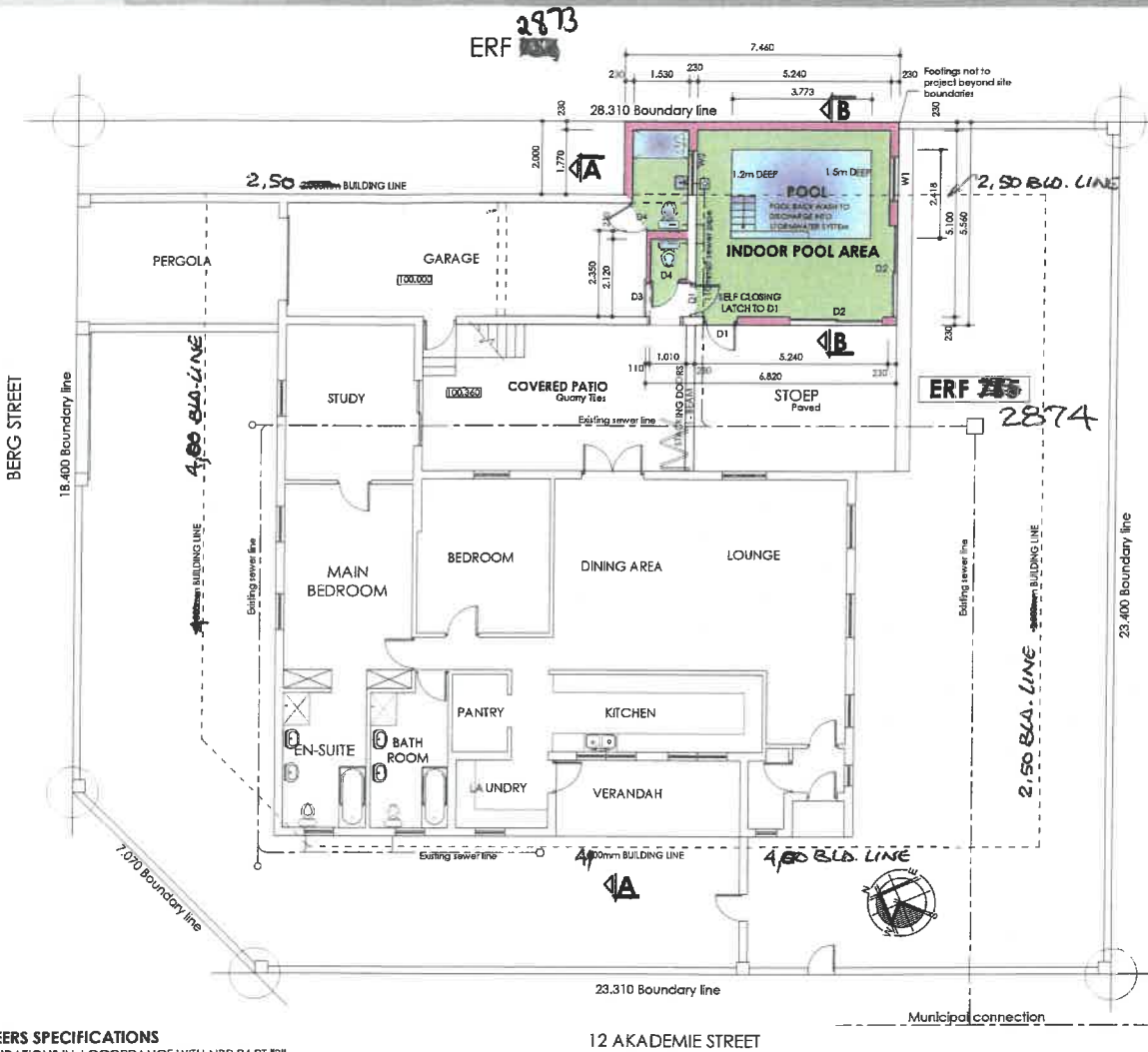
12/02/2020
DATE

APPENDIX 1

Proposed building plan



MASTERPLAN PROJECTS ARCHITECTURE



SITE AND FLOOR PLAN
SCALE 1:100

ENGINEERS SPECIFICATIONS

ALL FOUNDATIONS IN ACCORDANCE WITH NBR PART "B"

CONCRETE SURFACE BEDS AND BACKFILL IN ACCORDANCE WITH NBR PART "B"
R.C SLABS AND R.C BEAMS TO BE NBR PART "B"

MASONRY COLUMNS AND FOOTINGS TO BE NBR PART "B"
R.C STAIRCASE TO ENG SPECIFICATIONS NBR PART "M" WITH 1.000mm HIGH HANDRAIL

ORIENTATION

ORIENTATION AND SUN PROTECTION COMPLIES TO REGULATION XA OF SANS 204: 2011

ALL FOUNDATION IN ACCORDANCE WITH NBR PART "B"

CONCRETE SURFACE BEDS AND BACKFILL IN ACCORDANCE WITH NBR PART "B"

GLAZING

GLAZING TO EXT AND INTERNAL DOORS TO BE SAFETY GLASS
ALL GLAZING THICKNESS TO BE AS PER SANS 0400
SPECIFICATION FOR MAX PANEL SIZE FOR ANY GIVEN THICKNESS OF GLASS
GLAZING LOWER THAN 500mm FROM FINISH FLOOR LEVEL TO BE SAFETY GLASS.

LINTELS

Pre cast pre stressed concrete lintels over all openings with a minimum bearing of 230mm on both sides. All pre stressed lintels exceeding 3.0m to be installed to engineers specifications.

RAINWATER (SANS 10400, PART R)

Approved Box gutters with 75mm diameter downpipes. All water to be taken from foundations.

FLOORS (SANS 10400, PART L)

25mm screed on 150mm concrete slab (1:3:6) on 250 micron d.p.c on well compacted fill.

WALLS (SANS 10400, PART K)

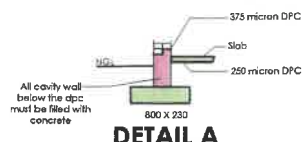
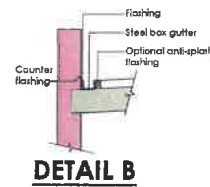
All brickwork to be reinforced with brickforce to NHBC requirements.
D.P.C. to be provided under the external and internal walls.
NHBC brickforce at every second layer.

WINDOW SCHEDULE

NUMBER	SIZE	AREA
W1	900mm x 1.200m	1.08
W2	1.200m x 900mm	1.08

DOOR SCHEDULE

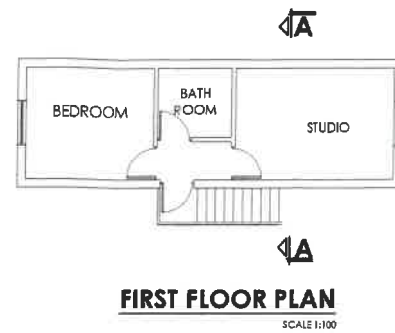
NUMBER	SIZE
D1	900mm x 2.100m
2 X D2	2.500m x 2.100m
D3	900mm x 2.100m
D4	900mm x 2.100m



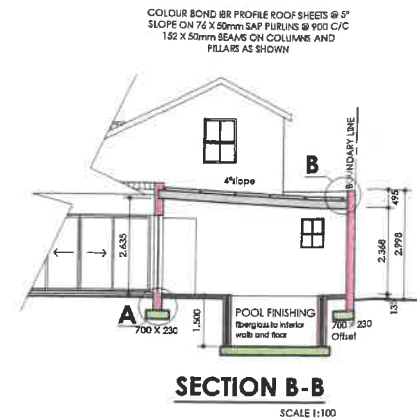
DETAIL A



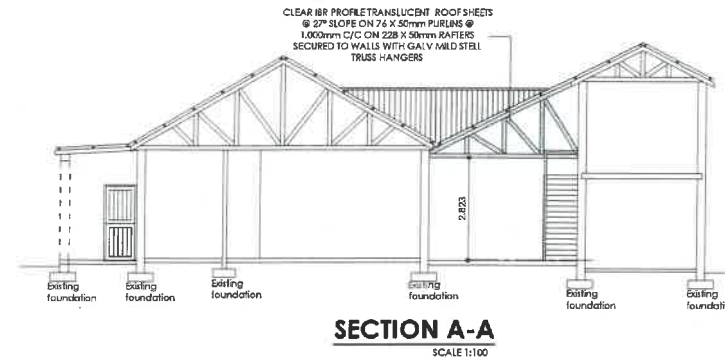
NORTH ELEVATION
SCALE 1:100



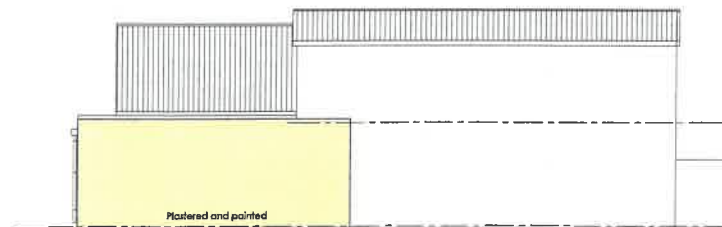
FIRST FLOOR PLAN
SCALE 1:100



SECTION B-B
SCALE 1:100



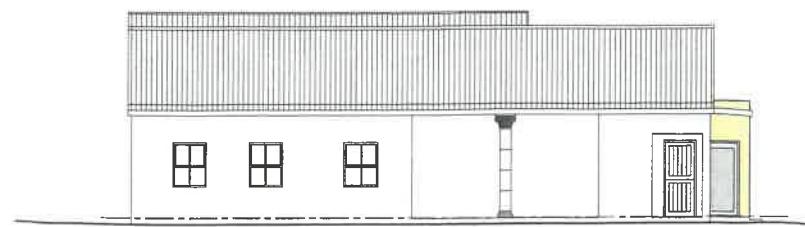
SECTION A-A
SCALE 1:100



EAST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

AREA SCHEDULE	
	AREA (m²)
ERF	649
FULL HOUSE	279.16
POOL AREA	34.41
STOEP	27.32
FIRST FLOOR	37.04
TOTAL AREA	340.89
PERCENTAGE COVERAGE	52.45%

General Notes

The design of this drawing is copyright.
All work carried out in strict accordance with local authority and NBR regulations.
All relevant details, levels and dimensions to be checked on site prior to commencement of the work.
The designer accepts no responsibility for errors resulting from the misinterpretation of this drawing.
Figured dimensions to be taken in preference to scaling of drawings. All dimensions are given in millimeters.
The contractor will be held responsible for the correct setting out of the work. Any doubt as to the accuracy of boundary pegs to be reported to the client immediately.
No portion of building to encroach over boundary lines.
All electrical and drainage work to be done by registered tradesmen. Any drainage pipes underside of building to be encased in 150mm concrete surround.

Foundations

230mm walls to bear on 700 x 230mm continuous concrete strip foundation. No foundation footings to project beyond site boundary

Concrete Surface Bed

Floor finish on 30mm cement screed on 100mm mass concrete surface bed on 250 micron dpm on 50mm sand bed on well compacted filling.

External Load Bearing Walls

External load bearing walls to be 230 with brickforce . 375 micron cranked DPC to all walls, window and door surrounds. Weepholes to every 3rd brick course 170mm min above FFL as well as over lintels.

Internal Non-Load Bearing Walls

Internal non-load bearing walls to be 110mm clay bricks

Precast Lintels

Precast R.C. lintels over all openings and built in 230mm into walls on either side of openings, doors and windows

**MASTERPLAN PROJECTS
ARCHITECTURE**

Stellenbosch, South Africa / PO Box 561 Stellenbosch 7599
Cell: 079 223 3770/Tel: 021 885 1417/ mail: patrick@snowiap.com

Client:
MR M M CROTS

Project: **2874**
PROPOSED ADDITIONS AND ALTERATIONS ON ERF 2874, C/O BERG AND AKADEMIE STREET, FRANSCHHOEK, STELLENBOSCH.

Drawing: Drawing No : 1907 / 01 A

MUNICIPAL SUBMISSION

Scale: 1:100 Date: JULY 2019 Drawn: S NIKELO Checked: PWL