



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/10959

Erf Number: Plot 162, De Hollandsche Molen - Wemmershoek

Your Reference Number:

Enquiries: A Gwintsa

Contact No. : 021808-8681

REGISTERED MAIL

Jacques Malan
162 De Hollandsche Molen Resort
Main Road R301
Wemmershoek
7690

Sir/Madam

APPLICATION FOR DEPARTURE: Plot 162 of Farm 1431, De Hollandsche Molen Resort – Wemmershoek

1. Your application for departure in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning By-Law dated 20 October 2015, for a departure to encroach the lateral building line from **0.5m to 0m** in order to construct a new carport on the property, as indicated on Drawing Number DHM-2019/11/20/162, Drawn by J.F Solomons, Dated November 2019. (See **APPENDIX 1**), refers.
2. The Authorised Employee hereby **approves, in whole** your application for a departure in terms of Section 60 of the Stellenbosch Municipal Land Use Planning By-law, on condition that;
 - The approval applies only to the application for departure in question (See **APPENDIX 1**) and shall not be construed as authority to depart from any other legal prescriptions or requirements from all other internal and external departments.
 - Building plans must be submitted, all applicable departmental recommendations be obtained and building plans be approved by this Municipality, prior to any building work commencing on site;
 - This approval becomes null and void if approval could not be obtained from Council's internal departments, e.g. Fire Services, Engineering Services, Building Management, etc.
 - This departure approval shall lapse if not exercised within 5 years from date of final notification;

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- The Municipal decision making authority reserves the right to impose further conditions if deemed necessary
3. Reasons for the above decision are as follows:
 - The adjacent affected property owner(s) granted their written consent and no further advertising was deemed necessary.
 - The proposed land use is in line with the zoning of the property.
 - All other land use parameters will still be complied with.
 - All other departments will still be afforded an opportunity to comment on the final building plan, which may result in the amendment of the approval.
 - The proposed departure would not negatively affect the aesthetic appearance of the structure, property or surrounding environment.
 - The subject application can for the above-mentioned reasons be supported from a land use management perspective, considering that all due administrative processes to make an informed decision has been complied with.
 4. You are hereby informed of your right to appeal to the Appeal Authority in terms of section 79(2) and that all appeal submissions and processing must be in compliance with the procedures for appeals stipulated in section 80 of the said legislation.
 5. If you intend to appeal, the appeal form must be completed and can be obtained from our Advice Centre; Land Use Management, Ground floor, Plein Street, Stellenbosch or the municipal website at www.stellenbosch.gov.za/planning_portal, and should be directed to the Appeal Authority and received by the Municipal Manager at P O Box 17, Stellenbosch, 7599 or faxed to 021 886 6899, or hand delivered to the Advice centre, within 21 days of notification of this decision together with proof of payment of the appeal fee.
 6. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
 7. Kindly note the above decision is suspended and may therefore not be acted on until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Yours faithfully



THE AUTHORISED EMPLOYEE (TABISO MFEYA)
DIRECTOR: PLANNING & ECONOMIC DEVELOPMENT

12/02/2020

DATE

APPENDIX 1

Proposed building plan



NOTES :
GENERAL :

All measurements must be checked before any building work commences. Preference must be given to dimensions indicated above measuring from plan. All building work must be done strictly in accordance with national building regulation & local authorities approval. Any irregularities on plan must be cleared with owner or designer before any work is done.

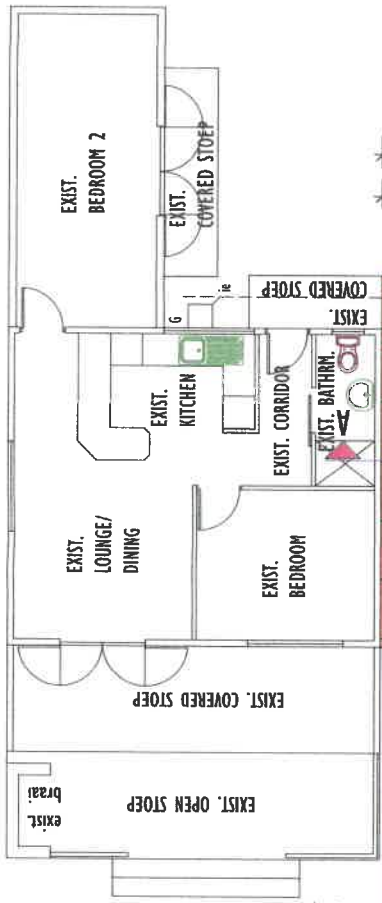
ERF 163

ERF BOUNDARY 33 100mm

99 800

500mm Building line

1046



ERF 162
365 M/2

EXIST. CONSERV. TANK

DRIVEWAY
Brick paving

110mm PVC Sewerpipe

PROPOSED LEAN-TO-ROOF
Brick paving

EXIST. TOOL SHED

ACCESS ROAD

11 770mm ERF BOUNDARY

ERF BOUNDARY 30 870mm

ADJACENT CHALET

76 x 76 x 4.5mm galv. steel posts
secured in concrete as indicated.

9450

99 800

J. F. S. Prodract & Design
James Solomons
S.A.C.A.F.
Reg. no. 571739

P.O.Box 424, 21 Starling Str., Pniel, 7681

Ph. : 083 712 6110
Fax : 086 570 6078

owner signature : *J. M. Solomons*

project :

Proposed Lean-to-roof

owner :
Erf 162
De Hollandsche Molen
Main road R301,
Wemmershoek, Stellenbosch

drwg no. DHM - 2019/11/20/162

date : November 2019

scale : 1 : 100

drawn : J. F. Solomons

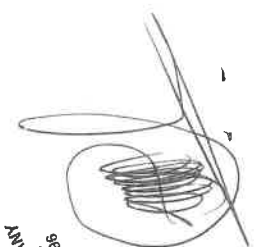
COVERAGE CALCULATIONS :

ERF AREA	= 365 M/2
EXIST. DWELLING HOUSE	= 59,4 M/2
EXIST. COVERED STOEPS	= 20,5 M/2
EXIST. OPEN STOEP	= 14 M/2
EXIST. STORAGE SHED	= 5 M/2
EXIST. BRMA	= 1,4 M/2
PROP. LEAN-TO-ROOF	= 21,2 M/2
TOTAL AREA	= 107,4 M/2
TOTAL COVER	= 107,4 M/2
PERCENTAGE COVER	= 29,07 %

APPROXIMATE ESTIMATED COST = R37 800 ,00

SITE & DRAINAGE PLAN :
SCALE: 1 : 100

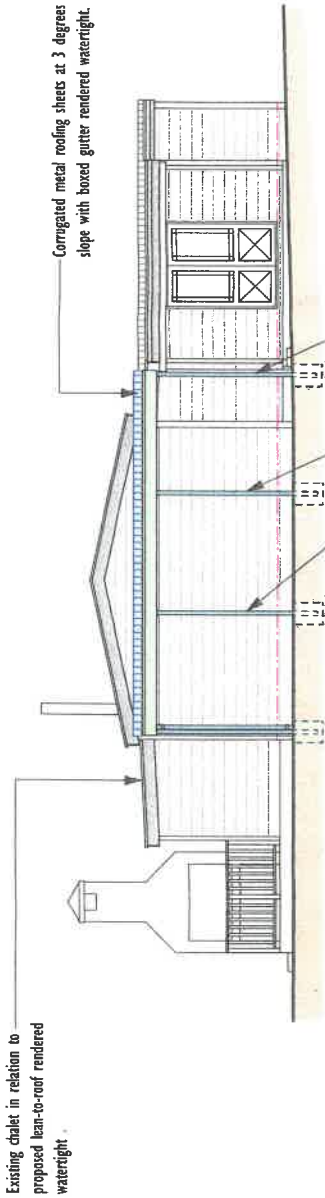
3/12/2019
De Hollandsche Molen
SHARE BLOCK COMPANY
VAT no: 9510113199
TEL: 071 967 0100



NOTES :

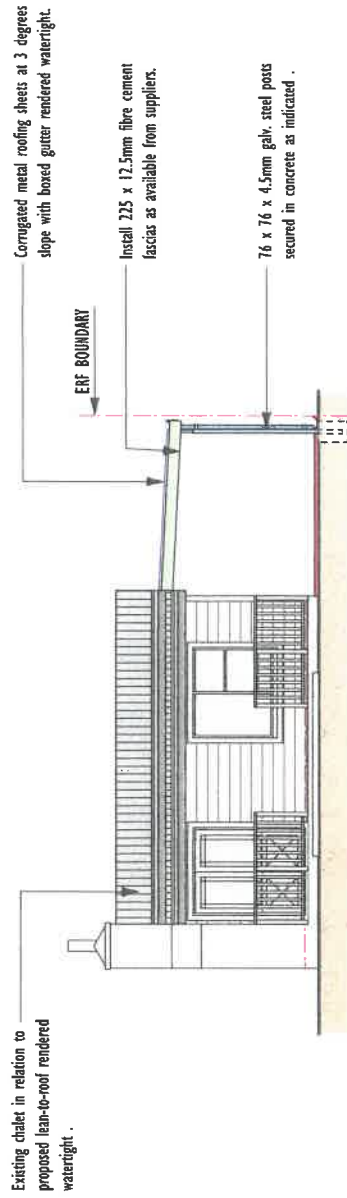
GENERAL :

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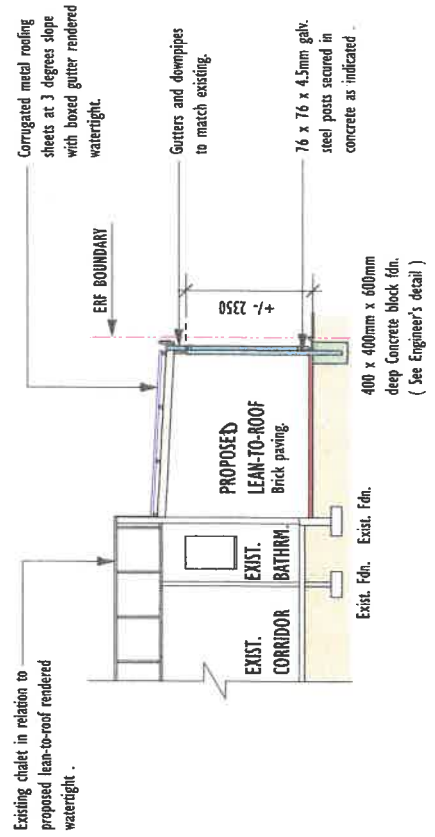
SOUTH ELEVATION :

SCALE : 1 : 100



WEST ELEVATION :

SCALE : 1 : 100

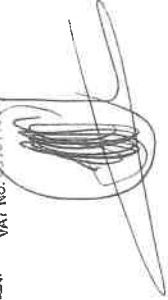


LEAN-TO-ROOF CONSTRUCTION :

Corrugated metal roof pitched at 3 degrees slope on 76 x 50mm purlins at +/- 800mm centres on 150 x 50mm rafters at +/- 800mm c/c secured to 228 x 50mm beam onto galv. steel sgr. tubing posts secured into concrete block foundation as indicated. Floor finish paving on optm. on sand cement layer on well compacted hardcore filling.

3/12/2019

De Hollandsche Molen
SHARE BLOCK COMPANY
TEL: 021 867 0160
VAT No: 547075439



J. F. S. Prodraft & Design
James Solomons
S.A.C.A.P. Reg. no. ST1739

P.O.Box 424 , 21 Starling Str., Pniel ,7681
Ph. : 083 712 6110
Fax : 086 570 6078

owner's signature : *J. F. S. Prodraft*

project :

Proposed Lean-to-roof

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